

HATCHER'S YARD TANNER STREET SE1

MODERN, FLEXIBLE, FITTED WORKSPACES
AROUND A CENTRAL COURTYARD

READY TO MOVE IN STRAIGHT AWAY
ON A TRADITIONAL LEASE OR FULLY MANAGED BY KITT

HATCHERSYARD.LONDON

HATCHER BROS. LTD.



'Hatcher Bros' were a haulage company operating from Hatcher's Yard, started by Thomas Hatcher in the 1800s.

A UNIQUE
& FLEXIBLE
WORKSPACE

With a rich history, this former haulage yard has been redeveloped, embracing its unique character and heritage. The newly refurbished units offer fully furnished, flexible and contemporary space, ready for your business to be up and running in no time.

2 FULLY FITTED WAREHOUSE STYLE OFFICE UNITS

READY FOR IMMEDIATE OCCUPATION

608 - 1,080 SQ FT



AVAILABILITY

GROUND FLOOR

B2 Under Offer

FIRST FLOOR

A4 Let

B3 Let

B4 Let

SECOND FLOOR

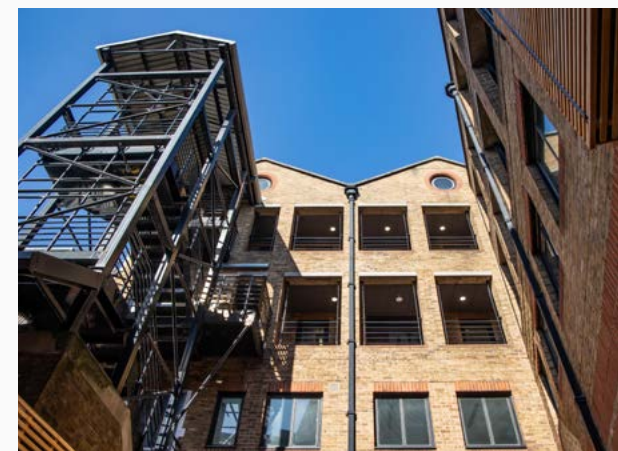
B5 608 sq ft

B6 1,080 sq ft

H
Y



THE YARD.
A CENTRAL PRIVATE
OUTDOOR SPACE TO
COLLABORATE.



TWO SOLUTIONS TO SUIT YOUR BUSINESS NEEDS

Hatcher's Yard accommodates businesses of all types with two tenancy options: traditional lease or fully managed by Kitt.

OPTION 1
LEASED

OPTION 2
FULLY MANAGED



	LEASED	FULLY MANAGED
AVAILABLE IMMEDIATELY	✓	✓
FITTED AND FURNISHED SUITES	✓	✓
FULLY INCLUSIVE MONTHLY CHARGE		✓
ALL UTILITIES COVERED		✓
INTERNET PACKAGES	ON REQUEST	✓
PROACTIVE MAINTENANCE		✓
FULL OFFICE MANAGEMENT		✓
CLEANING AND WASTE MANAGEMENT		✓
BESPOKE BRANDING	ON REQUEST	✓
FULLY STOCKED KITCHEN & COFFEE		✓
HEALTH & SAFETY WITHIN YOUR SPACE		✓



OPTION 1 LEASED SOLUTION

At Hatcher's Yard, each space is delivered fully furnished and cabled, making it easier than ever to move offices. From 6 to 24 desks, there's an office unit to suit each business. Flexible leases allow us to grow with you and our dedicated designers can work with you to make the space your own.



FULLY FURNISHED



PRIVATE MEETING ROOMS



COLLABORATION SPACE



KITCHEN



LED LIGHTING



HEATING AND COOLING SYSTEM



SECURE BIKE RACKS



PRIVATE WCS



COMMUNAL SHOWER FACILITIES



COURTYARD AREA



WIFI & IT SERVICES*



BESPOKE BRANDING*



EASE OF ENTRY



*optional add-on

OPTION 2 FULLY MANAGED SOLUTION

Hatcher's Yard units are also available as a personalised managed solution via Kitt, London's leading managed office operator.

For one simple monthly price, all units can be delivered with everything in a traditional offering, along with comprehensive office services from housekeeping and waste management to proactive maintenance and reactive repairs. This means you can focus on your core business and not the running of your office space.



BESPOKE BRANDING



LOCAL SUPPORT TEAM



PROACTIVE MAINTENANCE



WiFi & IT SERVICES



UTILITIES



CLEANING & WASTE MANAGEMENT



FOOD & BEVERAGE PACKAGES



HEALTH & SAFETY



MOBILE ACCESS CONTROL



**A CORE PACKAGE SERVICE.
BUILT AROUND YOU.**



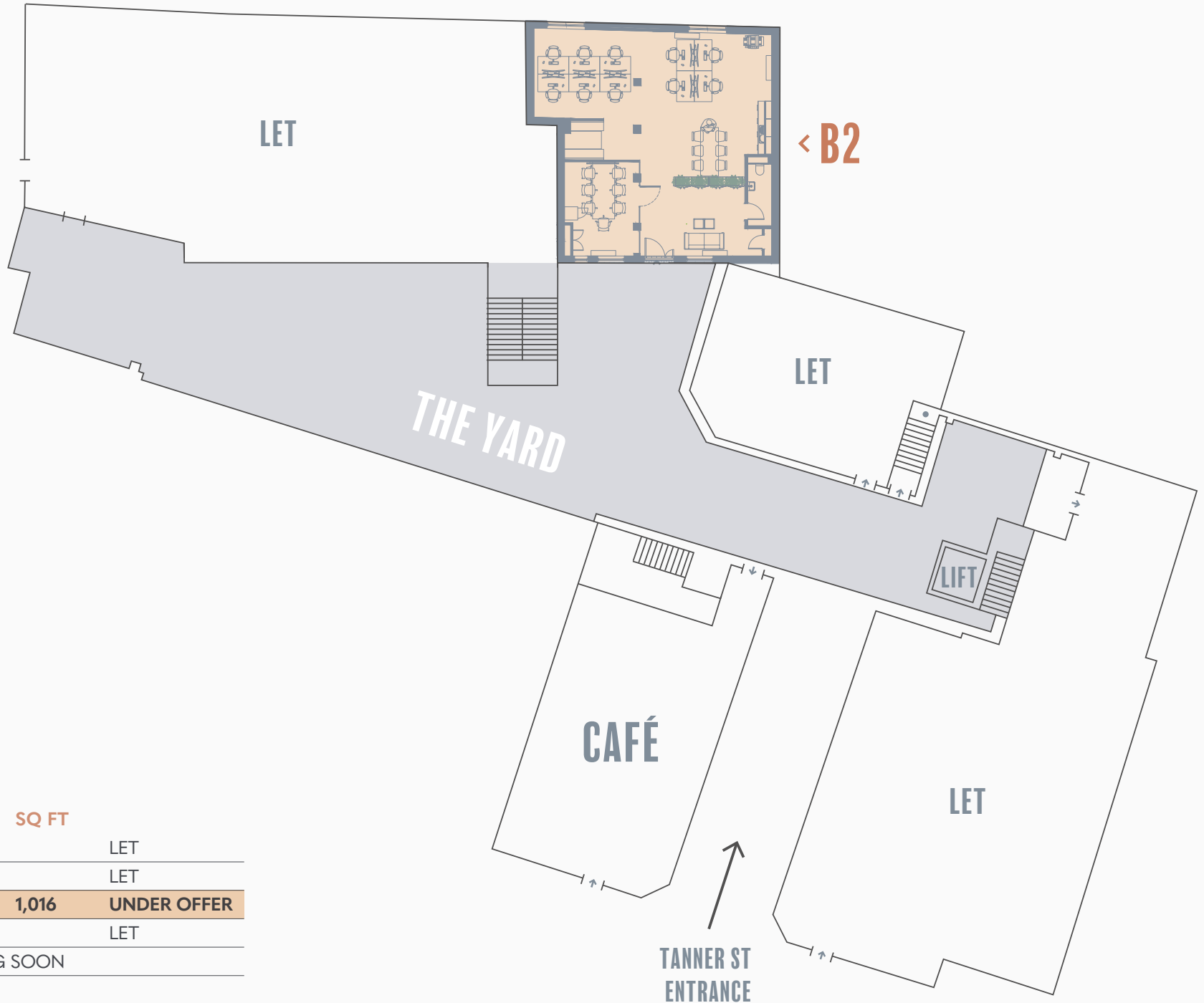
B2

GROUND FLOOR

1,016 SQ FT

- Space for 10 desks

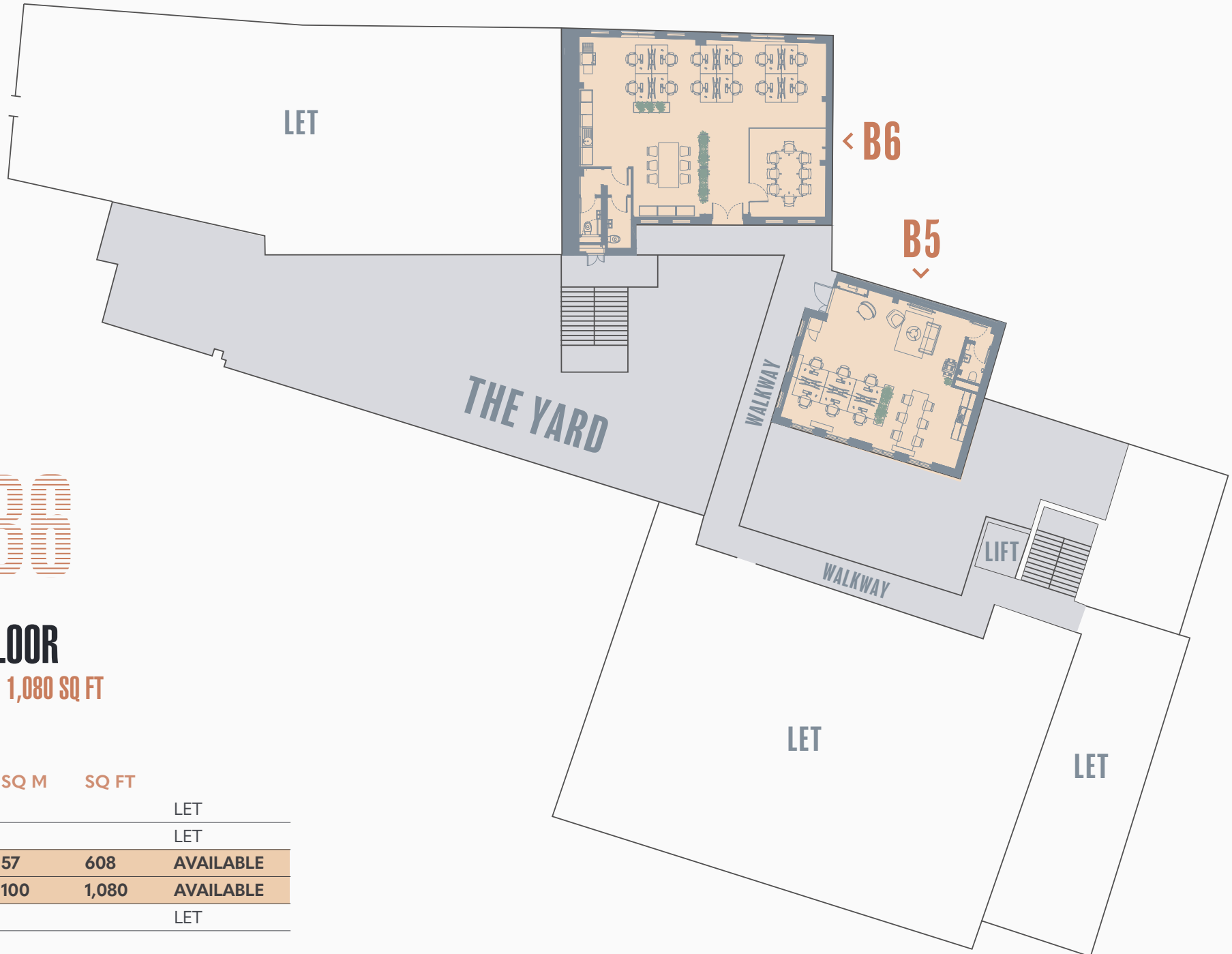
	SQ M	SQ FT	
UNIT A2			LET
UNIT B1			LET
UNIT B2	94	1,016	UNDER OFFER
WGG			LET
CAFÉ	COMING SOON		



B2

GROUND FLOOR





B5 | B6

SECOND FLOOR

B5 608 SQ FT **B6 1,080 SQ FT**

- Space for 6 desks

	SQ M	SQ FT	
UNIT A5			LET
UNIT A6			LET
UNIT B5	57	608	AVAILABLE
UNIT B6	100	1,080	AVAILABLE
WG2			LET

B5

SECOND FLOOR



BUSTLING BERMONDSEY. A THRIVING AREA.

H
Y



AMENITIES

Restaurants & Bars

- 1 Constanca
- 2 Casse-Crouste
- 3 Electric Shuffle
- 4 José
- 5 Trivet
- 6 Bar Tozino
- 7 Flour & Grape
- 8 Locanda del Melo
- 9 Pique-Nique
- 10 Bermondsey Larder
- 11 Franco Manca
- 12 Nine Lives
- 13 The Last Talisman
- 14 The Bermondsey Yard

Hotels

- 15 Hilton London Tower Bridge
- 16 Shangri-La Hotel at The Shard
- 17 The Dixon, Tower Bridge
- 18 Cheval Three Quays
- 19 The Lalit London
- 20 London Bridge Hotel

Cafés

- 21 WatchHouse Bermondsey
- 22 Café Murano
- 23 Sharman Coffee Shop
- 24 Long Lane Café
- 25 Canela Espresso Bar

Gyms

- 26 Third Space Tower Bridge
- 27 The Circle Gym & Spa

Markets

- 28 Borough Market
- 29 Maltby Street Market
- 30 Vinegar Yard

Green Spaces & Culture

- 31 Tanner Street Park & Tennis Courts
- 32 Leathermarket Gardens
- 33 White Cube Gallery

CONNECTIVITY

Journey times from London Bridge Station*



BANK
1 min - Northern Line



WATERLOO
3 mins - Jubilee Line



CANARY WHARF
7 mins - Jubilee Line



GREEN PARK
7 mins - Jubilee Line

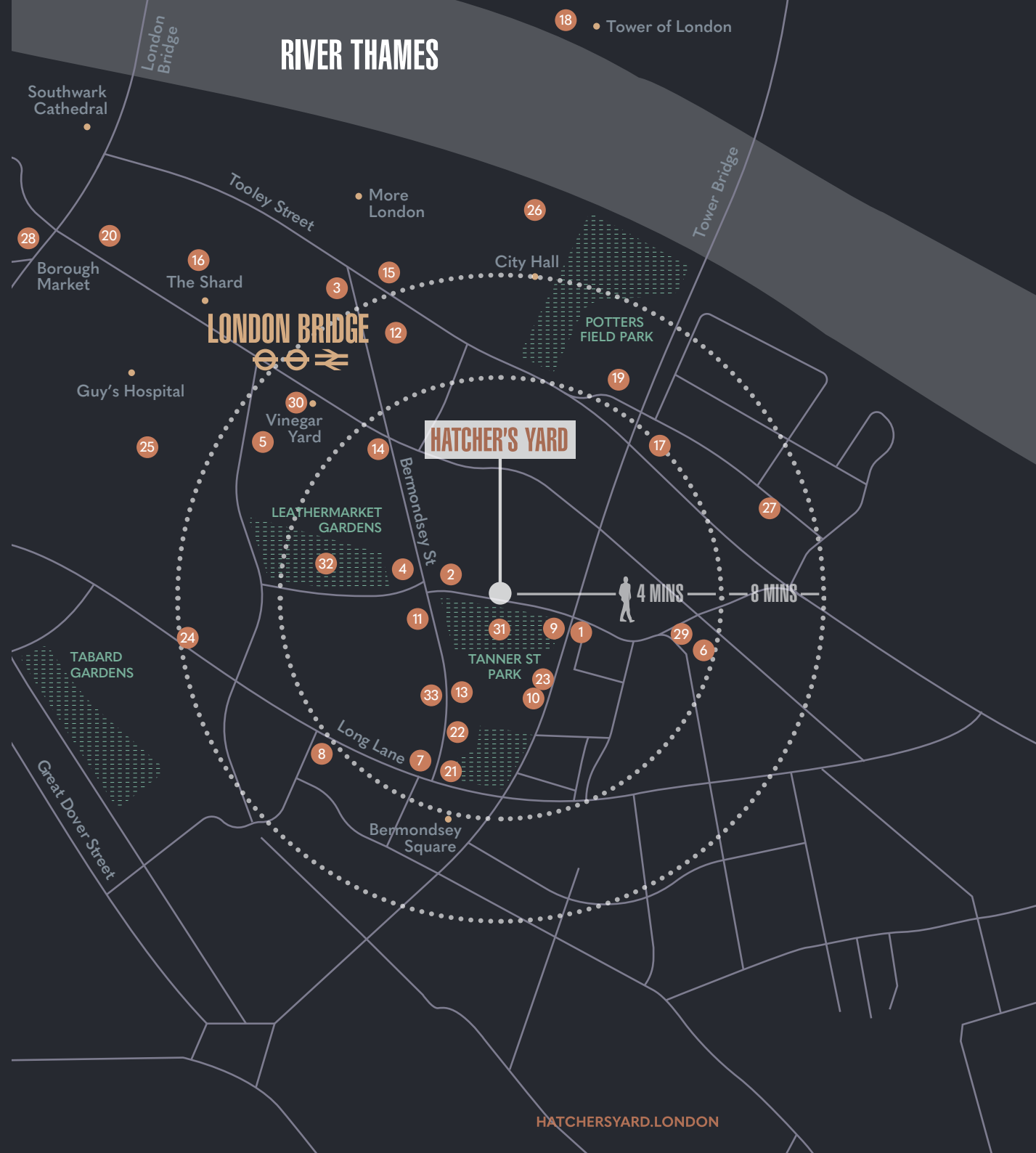


FARRINGDON
10 mins - Thameslink
Elizabeth Line



**KING'S CROSS
ST PANCRAS**
11 mins - Northern Line

*Source crossrail.co.uk



OUT AND ABOUT

Located close to the City and Central London, Bermondsey Street is a truly unique area – a place that’s buzzing with creativity and energy. From mouth-watering street food to elegant cuisine, the eateries and bars close by really are a temptation to spoil.

Borough Market never disappoints with its vast array of eclectic food and drinks, fashion and antiques. Within a short walk you can enjoy art galleries, green spaces and breath-taking views of the Thames.



01

Cafe Murano
An open kitchen serving classic & modern cuisine.

02

José
A true taste of Spain on the corner of Bermondsey street.

03

Borough Market
One of the largest and oldest food markets in London.

04

Vinegar Yard
An eclectic mix of drinks, food, flea market and art.

**THE SOUTHBANK:
A HIVE OF
CREATIVITY AND
INSPIRATION**



01



02



03



04

HATCHERSYARD.LONDON

HATCHER'S YARD

TANNER STREET SE1

AVAILABLE ON A TRADITIONAL LEASE,
OR FULLY MANAGED BY KITT

USP.

SIMON SMITH

07736 880 316

simon@usp.london

MAX HUMPHREYS

07718 484 284

max@usp.london

LUKE AUSTERBERRY

07921 406 291

luke@usp.london

Colliers
INTERNATIONAL

MARK RADFORD

07730 318 148

mark.radford@colliers.com

JACK KNIVETT

07730 762 857

jack.knivett@colliers.com

CHARLIE COLLINS

07759 121 247

charlie.collins@colliers.com

Kitt.

NATALIE LOMAS

07482 510 003

natalie@kittoffices.com

POPPY BARKER

07878 859 429

poppy@kittoffices.com

Important Notice: Union Street Partners, Colliers and their clients give notice that: 1. They are not authorised to make or give any representations or warranties in relation to the property either here or elsewhere, either on their own behalf or on behalf of their client or otherwise. They assume no responsibility for any statement that may be made in these particulars. These particulars do not form part of any offer or contract and must not be relied upon as statements or representations of fact. 2. Any areas, measurements or distances are approximate. The text, photographs and plans are for guidance only and are not necessarily comprehensive. It should not be assumed that the property has all necessary planning, building regulation or other consents and Union Street Partners have tested any services, equipment or facilities. Purchasers must satisfy themselves by inspection or otherwise. Based on Ordnance Survey.

Not to scale - for identification purposes only. January 2024.

fetchagency.com